

28.141 - PARKING AND LOADING STANDARDS.

(1) Statement of Purpose.

This section establishes minimum and maximum parking requirements, and standards for the layout and design of parking spaces, lots and structures. It also includes shared parking incentives, and reduction of off-street parking in favor of transit or other travel modes. The standards in this section are intended to:

- (a) Encourage reduction of surface parking as a means of reducing dependence on private automobiles and reducing the pollution and congestion that are associated with automobile use.
- (b) Encourage reduction of impervious surface to control run-off.
- (c) Encourage reduction of surface parking as a means of fostering more compact development patterns and encouraging transit, bicycle and pedestrian circulation.
- (d) Minimize the adverse effects of off-street parking and loading on adjacent properties.
- (e) Minimize spillover of on-street parking in neighborhoods. (Am. by ORD-23-00013, 1-25-23)
- (f) Encourage shared parking arrangements that will support mixed-use development and compact development patterns.
- (g) Encourage bicycle circulation by providing bicycle connections, adequate parking, and storage space for bicycles.
- (h) Encourage parking locations that do not disrupt Madison's traditional streetscape.

(2) Organization of this Section.

Certain districts do not require off-street parking, as set forth in Table 28I-2. Where off-street parking is required, Table 28I-3 establishes the minimum number of automobile parking spaces required, the maximum number of automobile parking spaces permitted, and the minimum number of bicycle parking spaces required, for the uses indicated. Off-street parking may be waived or reduced under specific conditions, as set forth in Table 28I-4.

(3) No Minimum Parking Required.

In the Central area, as defined, and the following districts, there is no specified minimum requirement for off-street parking of automobiles, with the exceptions specified in Table 28I-2 below. Maximum parking and bicycle parking requirements apply as specified in Table 28I-3. For conditional uses, parking requirements may be established as a condition of approval in cases with minimum parking requirements. (Am. by ORD-23-00013, 1-25-23)

Table 28I-2. Districts With No Minimum Automobile Parking Requirements; Exceptions.

District/Area	Parking Requirement	Exceptions
Central Area	No minimum	
Neighborhood Mixed-Use (NMU)	No minimum	<ol style="list-style-type: none"> 1. Buildings, uses, or additions exceeding ten thousand (10,000) square feet floor area. 2. Restaurants, restaurant-taverns, taverns, restaurant-nightclub, nightclub, and brewpubs if located within three hundred (300) feet of another restaurant, restaurant-tavern, tavern, or brewpub.
Limited Mixed-Use (LMU)	No minimum	
Traditional Shopping Street (TSS)	No minimums	<ol style="list-style-type: none"> 1. Buildings, uses, or additions exceeding ten thousand (10,000) square feet floor area for an individual establishment or twenty-five thousand (25,000) square feet floor area for a mixed-use or multi-tenant building. 2. Restaurants, restaurant-taverns, taverns, restaurant-nightclub, nightclub, and brewpubs if located within three hundred (300) feet of another restaurant, restaurant-tavern, tavern, or brewpub.
Mixed-Use Center (MUC)	No minimum	
Commercial Center (CC)	No minimum	
Regional Mixed-Use District (RMD)	No minimum	<ol style="list-style-type: none"> 1. Buildings, uses, or additions exceeding twenty-five thousand (25,000) square feet floor area. 2. Restaurants, restaurant-taverns, taverns, restaurant-nightclub, nightclub, and brewpubs if located within three hundred (300) feet of another restaurant, restaurant-tavern, tavern, or brewpub.

Traditional Employment (TE)	No minimum	1. Buildings, uses, or additions exceeding twenty-five thousand (25,000) square feet floor area. 2. Restaurants, restaurant-taverns, taverns, restaurant-nightclub, nightclub, and brewpubs if located within three hundred (300) feet of another restaurant, restaurant-tavern, tavern, or brewpub.
Employment Campus (EC)	No minimum	
Suburban Employment Center (SEC)	No minimum	
Industrial - Limited (IL)	No minimum	
Commercial Corridor-Transitional (CC-T)	No minimum	Restaurants, restaurant-taverns, taverns, restaurant-nightclub, nightclub, and brewpubs if located within three hundred (300) feet of another restaurant, restaurant-tavern, tavern or brewpub.
Suburban Employment (SE)	No minimum	Restaurants, restaurant-taverns, taverns, restaurant-nightclub, nightclub, and brewpubs if located within three hundred (300) feet of another restaurant, restaurant-tavern, tavern or brewpub.
Industrial - General (IG)	No minimum	
Transit Oriented Development (TOD) Overlay District	No minimum	

(Am. by ORD-14-00168, 12-3-14; ORD-15-00033, 4-8-15; Am. by ORD-21-00008, 2-10-21; Am. by ORD-23-00013, 1-25-23)

(4) Off-Street Parking Requirements, Applicability.

Table 28I-3 establishes the minimum number of automobile parking spaces required, the maximum number of automobile parking spaces permitted, and the minimum number of bicycle parking spaces required, for the uses indicated. Compliance with this Section is required in the case of any change in use or occupancy. Where the Zoning Administrator determines the minimum or maximum parking requirement, consideration shall be given to the expected number of public visiting the site, as well as the number of persons employed or residing on the site.

- (a) Number of Employees. Where number of employees is used to determine parking, it shall be based on the number of employees on the maximum working shift at the time the occupancy permit is requested. Parking requirements based on number of employees will not change unless new construction or expansion is proposed.
- (b) Floor Area Calculation. Floor area used to calculate parking and loading requirements is defined as the sum of the gross horizontal areas of the floors or parts of a building devoted to the use, measured from the exterior faces of the exterior walls or from the center line of walls separating two buildings. It does not include porches, garages, or space in a basement or cellar when used for storage or incidental uses.
- (c) Bicycle Space Minimum. A minimum number of two (2) bicycle spaces (the equivalent of one two-sided bike rack) is required for nonresidential uses.
- (d) Computation. Fractional space requirements of up to one-half ($\frac{1}{2}$) space shall be rounded down to the next whole number and greater than one-half ($\frac{1}{2}$) rounded up to the next whole number.
- (e) Parking Requirements For Persons With Disabilities. The provisions contained in Wis. Stat. §§ 101.12, 346.503, and 346.56 and any related Wisconsin Administrative Code sections are hereby adopted by reference and made applicable to all parking facilities whenever constructed.
- (f) Unspecified Uses. Where buildings are constructed without uses specified, the use with the highest parking requirement among all uses specified for the zoning district where the site is located shall be used to calculate off-street parking requirements.
- (g) Unlisted Uses. For uses not listed in Table 28I-3, the Zoning Administrator also may consider the following:
 - 1. Documentation regarding the actual parking and loading demand for the proposed use.
 - 2. Evidence in available planning and technical studies relating to the proposed use.
 - 3. Required parking and loading for the proposed use as determined by comparable jurisdictions.
 - 4. Examination of the parking and loading requirements for uses most similar to the proposed use.

Table 28I-3. Off-Street Parking Requirements.

Use	Automobile Minimum	Automobile Maximum	Transit Oriented Development (TOD) Overlay District Automobile Maximum	Bicycle Minimum
Residential - Family Living				
Single-family detached dwellings	1 (location only)	4 outside spaces	4 outside spaces	0
Two-family dwelling - two-unit	1 (location only)	4 outside /d.u.	2 outside /d.u.	0-
Two-family dwelling - twin	1/d.u. (location only)	4 outside /d.u.	2 outside /d.u.	0-
Three-family dwelling	1/d.u. (location only)	2 per dwelling	2 per dwelling	1/d.u
Single-family attached dwelling	1 per dwelling	2 per dwelling	2 per dwelling	1 per dwelling
Multi-family dwelling	1 per dwelling	2.5 per dwelling	1.5 per dwelling	1 per unit up to 2-bedrooms, ½ space per add'l bedroom; 1 guest space per 10 units

Accessory dwelling unit	0	2 per dwelling	1 per dwelling	0
Manufactured home, mobile home	0	(see lot coverage)	(see lot coverage)	0
Caretaker's dwelling	0	2 per dwelling	2 per dwelling	0
Residential - Group Living				
Adult family home	1	4	4	1 per dwelling
Community living arrangement	determined by Zoning Administrator based on number of rooms/employees	150% minimum	Minimum determined by Zoning Administrator under non-TOD regulations	1 per dwelling unit plus 1 per 3 rooms
Cohousing community	determined by Zoning Administrator	150% minimum	Minimum determined by Zoning Administrator under non-TOD regulations	1 per dwelling
Housing cooperative	same as dwelling type prior to conversion to co-op	1 per bedroom	1 per bedroom	1 per bedroom plus 1 guest space per 4 bedrooms units

Lodging house	determined by Zoning Administrator based on number of rooms/employees	1 per bedroom	1 per bedroom	1 per lodging room plus 1 guest space per 4 lodging rooms
Dormitory, fraternity or sorority	1 per 10 lodging rooms, or as established in Campus Master Plan	1 per bedroom	1 per bedroom	1 per bedroom plus 1 guest space per 4 bedrooms
Assisted living, congregate care, skilled nursing facility	1 space per 10 dwelling units or lodging rooms; 1 per 5 beds	1 per dwelling unit	1 space per 2 dwelling units	1 per 4 units + 1 per 5 employees
Convent, monastery or similar residential group	see place of worship	1 per bedroom	Minimum determined by Zoning Administrator under non-TOD regulations	1 per bedroom
Civic and Institutional Uses				
Cemetery, mausoleum	determined by Zoning Administrator	determined by Zoning Administrator	determined by Zoning Administrator	determined by Zoning Administrator

Day care center nursery school	1 per 15 clients plus 1 per 2 employees	200% of minimum	Minimum determined by Zoning Administrator under non-TOD regulations	1 per 5 employees
Library, museum	0	1 per 400 square feet floor area	1 per 600 square feet floor area	1 per 2,000 square feet floor area
Mission house	see place of worship	1 per 400 square feet floor area	1 per 600 square feet floor area	1 per 400 square feet floor area
Parks and playgrounds	none, except where required for specific facilities, as determined by Zoning Administrator	none, except where required for specific facilities as determined by Zoning Administrator	none, except where required for specific facilities, as determined by Zoning Administrator	none, except where required for specific facilities as determined by Zoning Administrator
Place of worship	1 per 10 seats or 15 lineal feet of seating area in the main worship space. If no fixed seats, 1 per 70 sq. ft. of floor area in main worship space	150% of minimum	Minimum determined by Zoning Administrator under non-TOD regulations	1 per 50 seats or 75 lineal feet of seating area or 1 per 350 feet of floor area in main worship space

Public safety facilities	determined by Zoning Administrator	determined by Zoning Administrator	determined by Zoning Administrator	determined by Zoning Administrator
Schools, public and private Schools, arts, technical or trade	1 space per classroom + 1 space per 5 students of legal driving age based on the maximum number of students attending classes at any one time	1 space per classroom + 1 space per 3 students of legal driving age based on the maximum number of students attending classes at any one time	1 space per classroom + 1 space per 5 students of legal driving age based on the maximum number of students attending classes at any one time	1 space per 5 students
Colleges, universities	1 per classroom and 1 per 5 students based on the maximum number of students attending classes at any one time; or as established in campus Master Plan	1 per classroom and + 1 per 3 students based on the maximum number of students attending classes at any one time; or as established in Campus Master Plan	1 per classroom + 1 per 5 students based on the maximum number of students attending classes at any one time; or as established in campus Master Plan	1 per classroom and 1 per 5 students, or as established in Campus Master Plan
Mixed Commercial-Residential Uses				

Live/work unit	1/d.u. +1 per 2 employees	2 outside	2 outside	1 per dwelling
Mixed-use	calculated based on separate components (see shared parking standards)	calculated based on separate components (see shared parking standards)	150% of the minimum under non-TOD regulations	calculated based on separate components (see shared parking standards)
Office Uses				
Offices Artist, photographer studio, etc. Insurance office, real estate office, sales office	1 per 400 sq. ft. floor area	1 per 250 sq. ft. floor area	1 per 325 sq. ft. floor area	1 per 2,000 sq. ft. floor area
Telecommunications center	1 per 2 employees	1 per employee	1 per 2 employees	1 per 10 employees
Medical Facilities				
Clinic, medical, dental or optical Medical laboratory Physical, occupational or massage therapy Veterinary clinic, animal hospital	1 per 2 employees	1 per 200 sq. ft. floor area	1 per 325 sq. ft. floor area	1 per 5 employees

Hospital	1 per 4 beds or based on a parking study or Campus Master Plan	determined by Zoning Administrator	1 per 3 beds or based on a parking study or Campus Master Plan	1 per 2,000 sq. ft. floor area
Retail Sales and Services				
Animal daycare	1 per 15 clients	200% minimum	125% of the minimum under non-TOD regulations	1 per 5,000 sq. ft. floor area
General retail Animal boarding facility, kennel Bank, financial institution Business sales and services Laundromat, self-service Liquor store Package delivery service Payday loan business Post office Service business; service business with showroom or workshop Small appliance repair	1 per 400 sq. ft. floor area	1 per 200 sq. ft. floor area	1 per 325 sq. ft. floor area	1 per 2,000 sq. ft. floor area

Building materials	1 per 1,000 sq. ft. floor area + 1 per 1,000 sq. ft. of outdoor sales, display	1 per 500 sq. ft. floor area + 1 per 500 sq. ft. of outdoor sales, display	1 per 750 sq. ft. floor area + 1 per 750 sq. ft. of outdoor sales, display	1 per 4,000 sq. ft. interior floor area
Drive-through sales and services, primary and accessory	0 or as determined by Zoning Administrator	determined by Zoning Administrator	determined by Zoning Administrator	determined by Zoning Administrator
Dry cleaning, commercial laundry	1 per 2 employees	1.25 per employee	1.25 per employee	1 per 4,000 sq. ft. floor area
Farmers' market	0	determined by Zoning Administrator	determined by Zoning Administrator	determined by Zoning Administrator
Furniture and household goods sales Garden center, outdoor Greenhouse, nursery	1 per 1,000 sq. ft. floor area + 1 per 1,000 sq. ft. of outdoor sales, display	1 per 500 sq. ft. floor area + 1 per 500 sq. ft. of outdoor sales, display	1 per 750 sq. ft. floor area + 1 per 750 sq. ft. of outdoor sales, display	1 per 5,000 sq. ft. outdoor sales, display
Mortuary, funeral home	1 per 200 square feet of assembly area	1 per 100 square feet of assembly area	1 per 150 square feet of assembly area	1 per 2,000 sq. ft. assembly area
Outdoor uses, commercial	1 per 1,000 sq. ft. of outdoor sales, display	1 per 500 sq. ft. of outdoor sales, display	1 per 750 sq. ft. of outdoor sales, display	1 per 5,000 sq. ft. outdoor sales, display
Food and Beverages				

Catering	1 per 2 employees	1 per employee	1 per employee	1 per 5 employees
Coffee shop, tea house Restaurant, Restaurant-tavern, tavern, brewpub	15% of capacity of persons	40% of capacity of persons	25% of capacity of persons	5% of capacity of persons
Commercial Recreation, Entertainment and Lodging				
Bed and breakfast establishment	1 per 2 bedrooms in addition to requirement for dwelling	200% of minimum	150% of minimum under non-TOD regulations	1 per 2 bedrooms
Health/sports club	10% of the capacity of persons	20% of the capacity of persons	15% of the capacity of persons	5% of the capacity of persons
Hostel	0	1 per bedroom	0.5 per bedroom	1 per bedroom
Hotel, inn, motel	.75 per bedroom	1.5 per bedroom	1.25 per bedroom	1 per 10 bedrooms
Indoor recreation	determined by Zoning Administrator (number employees & use characteristics)	determined by Zoning Administrator	determined by Zoning Administrator (number employees & use characteristics)	5% of the capacity of persons

Lodge, private club, reception hall	15% of the capacity of persons	40% of the capacity of persons	25% of the capacity of persons	5% of the capacity of persons
Outdoor recreation	determined by Zoning Administrator	determined by Zoning Administrator	determined by Zoning Administrator	determined by Zoning Administrator
Theater, assembly hall, concert hall	20% of the capacity of persons in the auditorium, or as established in Campus Master Plan (if applicable)	40% of the capacity of persons in the auditorium	30% of the capacity of persons in the auditorium, or as established in Campus	5% of the capacity of persons in the auditorium
Adult Entertainment				
Adult entertainment establishment, adult entertainment tavern	20% of capacity of persons	40% of capacity of persons	30% of the capacity of persons	5% of capacity of persons
Automobile Services				
Auto service station, body shop, repair station	1 per 2,000 sq. ft. of floor area excluding service bays + 2 spaces per service bay	1 per 1,000 sq. ft. of floor area excluding service bays + 2 spaces per service bay	1 per 2,000 sq. ft. of floor area excluding service bays + 2 spaces per service bay	1 per 5 employees
Auto convenience store	1 per 1,000 sq. ft. of floor area	1 per 500 sq. ft. of floor area	1 per 750 sq. ft. of floor area	1 per 1,000 sq. ft. floor area

Auto sales and rental Note: rental vehicles on site may be stacked	1 per 1,000 sq. ft. floor area + 2 spaces per service bay, if any	1 per 500 sq. ft. floor area + 4 spaces per service bay	1 per 1,000 sq. ft. floor area + 2 spaces per service bay, if any	1 per 5 employees
Automobile storage and towing (excluding wrecked or junked vehicles)	determined by Zoning Administrator (number trucks and storage area size)	determined by Zoning Administrator	determined by Zoning Administrator (number trucks and storage area size)	1 per 5 employees
Car wash	determined by Zoning Administrator	determined by Zoning Administrator	determined by Zoning Administrator	1 per 5 employees

Public Utility and Public Service Uses

Electric power production	determined by Zoning Administrator	determined by Zoning Administrator	determined by Zoning Administrator	1 per 10 employees
Electric substations, gas regulator stations, telecommunications facilities, sewerage system lift stations, water pumping stations and other public utility uses	0	determined by Zoning Administrator	determined by Zoning Administrator	0

Transportation Uses

Bus or railroad passenger depot, railroad or intermodal freight yard, motor freight terminal, railroad yard or shop, taxi or limousine dispatching, maintenance and storage	0	determined by Zoning Administrator	determined by Zoning Administrator	1 per 5 employees 50% short-term 50% long-term
Airport	determined by Zoning Administrator	determined by Zoning Administrator	determined by Zoning Administrator	Short-term: 1 per 10 employees Long-term: 1 per 50 long-term automobile parking spaces provided
Airport - Limited Production, Processing and Storage				
Artisan workshop	0	1 per employee/artist	1 per employee/artist	1 per 5 employees

Bakery, wholesale Bottling plant Laboratories - research, development and testing Limited production and processing Mail order house Printing and publishing Recycling collection center, drop-off station	1 per 2 employees	1 per employee	1 per 2 employees	1 per 5 employees
Contractor's yard	1 per 500 sq. ft. office or sales area + 1 per 3,000 sq. ft. storage area	1 per 250 sq. ft. office or sales area + 1 per 1,500 sq. ft. storage area	1 per 350 sq. ft. office or sales area + 1 per 3,000 sq. ft. storage area	1 per 5,000 sq. ft. floor area
Storage - personal indoor facility	0	1 per employee	1 per employee	1 per 10 employees
Industrial Uses				
Brewery General manufacturing Hazardous waste collection, storage or transfer Light manufacturing Recycling center	1 per 2 employees	1 per employee	1 per employee	1 per 10 employees

Asphalt, concrete batching or ready-mix plant Concrete, asphalt and rock crushing facility Extraction of gravel, sand, other raw materials Motor vehicle salvage	determined by Zoning Administrator	determined by Zoning Administrator	determined by Zoning Administrator	1 per 10 employees
Lumberyard	1 per 1,000 sq. ft. floor area + 1 per 1,000 sq. ft. of outdoor sales, display	1 per 500 sq. ft. floor area + 1 per 500 sq. ft. of outdoor sales, display	1 per 750 sq. ft. floor area + 1 per 750 sq. ft. of outdoor sales, display	1 per 10 employees
Recycling center	1 per 2 employees	1 per employee	1 per employee	1 per 10 employees
Agricultural Uses				
Animal husbandry Cultivation	0	1 per employee	1 per employee	1 per 5 employees
Intensive agriculture On-site agricultural retail, farm stand	determined by Zoning Administrator	determined by Zoning Administrator	determined by Zoning Administrator	1 per 5 employees

(Am. by ORD-13-00007, 1-15-13; ORD-14-00143, 9-12-14; ORD-16-00052, 5-25-16; Am. by ORD-23-00013, 1-25-23)

(5) Adjustments to Minimum Number of Required Spaces. Where minimum parking is required, the following adjustments may be made, as outlined in Table 28I-4.

Table 28I-4. Minimum Parking Adjustments/Reductions.

	Adjustment
Deferred provision of parking	Any use may defer installation of all or a portion of the required parking until such parking is needed. The approved site plan shall depict the minimum number of required parking spaces. Deferral will be re-evaluated with a change in use or an addition to an existing use.
Shared parking	The Zoning Administrator may authorize a reduction in the minimum number of parking spaces required upon a determination that the hours of peak use among multiple uses will result in lower parking demand, using the method outlined in Subsection <u>28.141(7)</u> .
Parking reduction	A reduction in the minimum number of parking spaces required may be granted through the following procedures:
	1. For non-residential uses, the applicant may reduce the parking requirement by the greater of (5) parking spaces or ten percent (10%) of the required parking.
	2. A further reduction of up to 20 spaces may be approved by the Zoning Administrator.
	3. A reduction of more than 20 spaces but less than 25% of the required parking may be approved by the Director.
	4. A reduction of more than 20 spaces and 25% or more of the required parking requires conditional use approval.

	<p>A parking reduction request must be initiated by the owner, who must submit information to support the argument for reducing the required number of spaces. Factors to be considered include but are not limited to: availability and accessibility of alternative parking, impacts on adjacent residential neighborhoods; existing or potential shared parking agreements; number of residential parking permits issued for the area; proximity to transit routes and/or bicycle paths and provision of bicycle parking; the characteristics of the use, including hours of operation and peak parking demand times; design and maintenance of off-street parking that will be provided; and whether the proposed use is new or an addition to an existing use.</p>
Bicycle parking reduction	<p>The amount of required bicycle parking may be reduced by the Zoning Administrator under the following circumstances:</p>
	<p>A bicycle parking reduction shall be initiated by the owner, who shall submit information to support a reduction. Factors to be considered by the Zoning Administrator include but are not limited to: availability, proximity, and use characteristics of public bike parking in the public right of way within two hundred (200) feet of the subject property; existing or potential shared parking agreements; proximity to transit routes and/or multi-use paths; characteristics of the use, including hours of operation and peak parking demand times; design and maintenance of off-street bicycle parking, and whether the use is existing or is an addition to an existing use.</p>
Shared car availability	<p>A reduction in residential parking may be approved by the Zoning Administrator if a shared or community car is available for use by residents on or within reasonable proximity of the site.</p>

Off-site parking availability	Parking for nonresidential uses may be reduced by one (1) space for each space in a public surface parking lot or public parking structure located within 1,320 feet of the use, as measured by using the shortest pedestrian route from the nearest corner of the surface parking lot or parking structure to the main public entrance of the use served.
Moped substitution	Moped parking is not required. However, three (3) moped spaces may be substituted for one (1) required automobile parking space. Where provided, moped parking shall meet the standards in Sub. <u>28.141(12)</u> .
Bicycle substitution	Four (4) bicycle parking spaces above the minimum number required may be substituted for one (1) required automobile parking space.

(Am. by ORD-23-00013, 1-25-23; Am. by ORD-24-00018, 3-20-24)

(6) Parking in Excess of the Maximum Number of Spaces.

(a) Underground or structured parking may exceed the maximum requirement in Table 28I-3.

(b) Surface parking exceeding the maximum may be allowed as follows:

1. For non-residential uses, the applicant may exceed the maximum parking requirement by the lesser of five (5) parking spaces or ten percent (10%) of the maximum parking requirement.
2. An additional increase of up to twenty (20) spaces above the maximum requirement may be approved by the Zoning Administrator.
3. An increase of more than twenty (20) parking spaces but not more than ten percent (10%) of the maximum parking requirement may be approved by the Director.
4. An increase of more than twenty (20) parking spaces that is also more than ten percent (10%) of the maximum parking requirement may be approved by conditional use.

(c) Approval of surface parking exceeding the maximum shall be granted only after considering the following:

1. Documentation regarding the actual parking demand for the proposed use.
2. The impact of the proposed use on the parking and roadway facilities in the surrounding area.
3. Whether the proposed use is located near a parking area that is available to the customers, occupants, employees and guests of the proposed use.
- 4.

The availability of alternative forms of transportation and actions being taken by the applicant to enhance or promote those alternatives.

5. Structured parking, rain gardens or other bioretention facilities, additional landscaping, pervious pavement, or other mitigation measures may be required as conditions for an exception.
 6. Whether the proposed use is new or is an alteration, addition or expansion of an existing use.
- (d) Zoning lots and uses that exceed maximum parking requirements as of the effective date of this ordinance may continue to maintain existing parking but shall not increase that parking without conditional use approval.

(7) Shared Parking Requirements.

The Zoning Administrator may authorize a reduction in the total number of required parking spaces for two or more uses jointly providing off-street parking when their respective hours of peak operation do not overlap. Shared parking shall be located within one thousand three hundred twenty (1,320) feet of each use served.

- (a) Computation. The number of shared spaces for two or more distinguishable land uses shall be determined by the following procedure:
1. Multiply the minimum parking required for each individual use, as set forth in Table 28I-3, by the appropriate percentage indicated in the table, for each of the six (6) designated time periods.
 2. Add the resulting sums for each of the six (6) columns.
 3. The minimum parking requirement shall be the highest sum among the six (6) columns resulting from the above calculations.
 4. Select the time period with the highest total parking requirement and use that total as the shared parking requirement.
- (b) Other Uses. If one or more of the uses proposing shared parking is not found in Table 28I-5, the applicant shall submit sufficient data to indicate the principal operating hours of the uses. Based upon this information, the Zoning Administrator shall determine the appropriate shared parking requirement for use in the calculation in (a) above.
- (c) Alternative Procedure. The Zoning Administrator may authorize a greater reduction in the total number of required parking spaces for two (2) or more uses where an applicant believes that Table 28I-5 does not adequately account for circumstances unique to the particular property or properties in question and the applicant submits, at a minimum, a parking study with a detailed description of the proposed uses, hours of operation,

anticipated peak parking demand, and anticipated hours that such peak parking demand would occur. The Zoning Administrator may impose reasonable conditions to mitigate potential negative effects.

Table 28I-5. Shared Parking Calculations.

General Land Use Classification	Weekdays			Weekends		
	2:00 a.m. — 7:00 a.m.	7:00 a.m. — 6:00 p.m.	6:00 p.m. — 2:00 a.m.	2:00 a.m. — 7:00 a.m.	7:00 a.m. — 6:00 p.m.	6:00 p.m. — 2:00 a.m.
Office/Warehouse/Industrial	5%	100%	5%	0%	10%	0%
Retail sales and services	0%	90%	80%	0%	100%	60%
Restaurant (not 24 hour)	10%	70%	100%	20%	70%	100%
Residential	100%	60%	100%	100%	75%	90%
Theater	0%	40%	90%	0%	80%	100%
Hotel: guest rooms (calculate conference and restaurant facilities separately)	100%	55%	100%	100%	55%	100%
Conference/Convention Facilities	0%	100%	100%	0%	100%	100%
Place of Worship	0%	25%	50%	0%	100%	50%
School, Grades K-12	0%	100%	25%	0%	30%	10%
Community Center, Library, Museum	0%	100%	80%	0%	100%	80%

- (d) The shared parking spaces shall be maintained as long as the uses they serve are in operation.
- (e) The required number of bicycle parking spaces will be provided.
- (f) The property owner or owners shall sign and record, with the Dane County register of deeds, a written agreement, in a form satisfactory to the City Attorney, that there will be no substantial change in the use or occupancy of the property or properties that will increase the demand for parking in the shared parking facility. This agreement shall also include a statement that the property owner or owners and their tenants shall be provided access to, and use of, the shared parking facility. A copy of the agreement shall be filed with the Director.

(8) Parking Design and Location.

Parking for automobiles and other motor vehicles shall be designed according to the requirements of Sec. 10.08, MGO and the following standards.

- (a) Surfacing. All parking lots and driveways shall have paved or approved surfaces, as required in Sec. 10.08, MGO. The use of permeable paving, as defined, is encouraged for all parking spaces provided above the minimum number required by this chapter.
 - 1. Residential drives serving single- to two-family dwellings may contain a grass center provided that the areas on which the vehicle's wheels touch are a minimum of twelve (12) inches in width.
- (b) Snow Removal. In winter months, required parking areas, including bicycle parking areas, shall be cleared of snow within a reasonable time. Areas used for snow storage shall be approved by the zoning administrator.
- (c) Parking Locations for Single and Two-Family Dwellings. (Am. by ORD-24-00018, 3-20-24)
(See Figures I5, I6, and I7)
 - 1. Parking is not permitted within front yard setbacks, or any street side yard setback, including the side yard setback extension into the rear yard, except on a driveway meeting the standards of Subsection (9) below.
 - 2. Parking shall not be located on street terraces, driveways, or any other areas located within a public right-of-way not explicitly designated by the Director of Public Works.
 - 3. Parking spaces may be located within:
 - a. an interior side yard setback.
 - b. a rear yard setback, except as in sub. 1 above. (Am. by ORD-14-00133, 8-13-14)
 - c. the building envelope.
 - 4.

Parking on a Through Lot. Through lots are defined as having two (2) front yards and no rear yard. Parking on a through lot may be located within the building envelope, or an interior side yard setback, but not in either front yard setback.

5. A maximum of forty percent (40%) of the front setbacks may be paved and used for driveway and parking purposes provided lot coverage requirements are not exceeded.

(Am. by ORD-18-00049, 5-14-18)

- (d) Landscaping and Screening. All off-street surface parking areas shall be landscaped according to the standards of Sec. 28.142, with the exception of parking for single-family detached, two-family and three-family dwellings. (Am. by ORD-24-00018, 3-20-24)

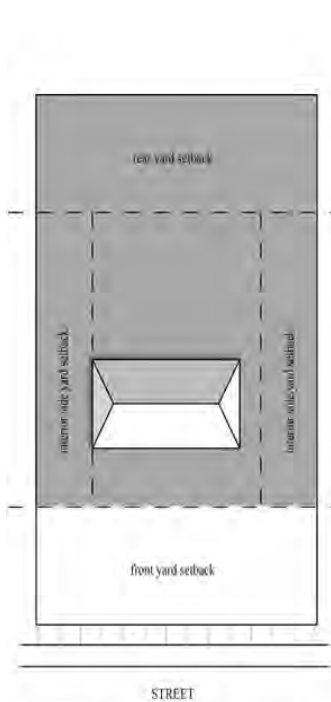


Figure I5: Residential Parking Locations: Interior Lot. Parking is allowed in shaded areas and on driveways in approved locations.

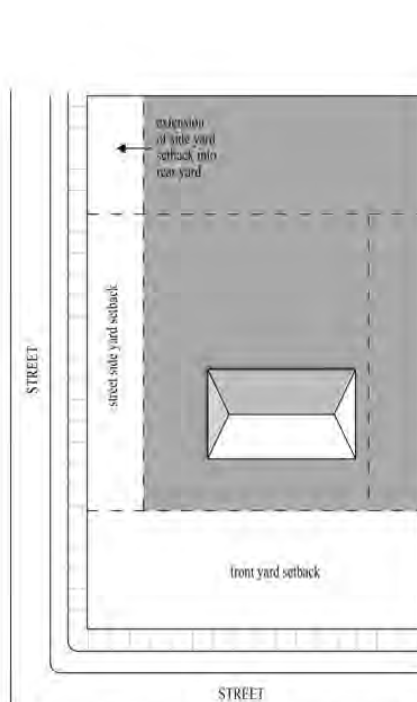


Figure I6: Residential Parking Locations: Corner or Reversed Corner Lot. Parking is allowed in shaded areas and on driveways in approved locations.

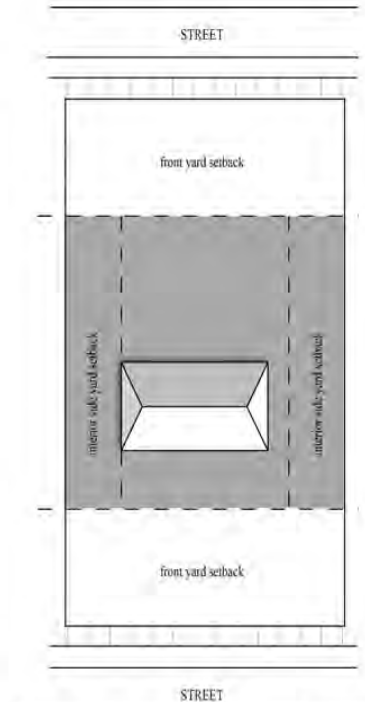


Figure I7: Residential Parking Locations: Through Lot. Parking is allowed in shaded areas and on driveways in approved locations.

- (e) Electric Vehicle Charging Station Requirements. Parking facilities shall be designed and built to meet the following requirements:

1. Applicability. The requirements of this subdivision shall apply to any new parking facility, or to any parking facility that is expanded by 10,000 square feet, as measured in parking spaces being created after January 1, 2021. A parking facility may be maintained or reconstructed without triggering the requirements of this subdivision. However, where more than 10,000 square feet of the paving and base in place on January 1, 2021 is removed from an existing surface parking lot and new paving and base is installed, these requirements shall apply. (Am. by ORD-24-00018, 3-20-24)
2. Where 6 or more parking spaces are being provided for residential uses, the following standards must be met:

Years	EV Ready Spaces	EV Installed Spaces
2021-2025	10%	2%
2026-2030	20%	4%
2031-2035	30%	6%
2036-2040	40%	8%
2041+	50%	10%

3. Where parking is being provided for certain uses where people park vehicles in excess of six hours, as specified in this paragraph, the following standards must be met:

Years	EV Ready Spaces	EV Installed Spaces
2021-2025	10%	1%
2026-2030	20%	2%
2031-2035	30%	3%
2036-2040	40%	4%
2041+	50%	5%

- a. The requirements of this paragraph shall apply to the following uses:
- i. College, University or Similar Institutions of Higher Learning;
 - ii. Hotel, Inn, Motel;
 - iii. Hospital and Health Clinic;
 - iv. Office;
 - v. Parking Facility, Private and Public;
 - vi. Schools, Arts, Technical or Trade; or,

vii. Any other use, except for those specified in subparagraph b., where people are typically expected to park vehicles in excess of six hours.

b. The requirements of this paragraph shall not apply to the following uses:

- i. Manufacturing;
- ii. Restaurants;
- iii. Retail;
- iv. Service Business; or,
- v. Warehousing and Storage.

4. Accessible Stations. Accessible charging stations shall be provided based on the following:

Number of EV Installed Spaces Required	Min. Accessible EV Installed Spaces
0-2	0
3-50	1
51-100	2
101+	3 +1 for each additional 50 spaces

5. Computation. Fractional space requirements of up to one-half ($\frac{1}{2}$) space shall be rounded down to the next whole number and greater than one-half ($\frac{1}{2}$) rounded up to the next whole number.

(Am. by ORD-21-00001, 1-19-21)

(9) Driveway Design and Location for Single and Two-Family Dwellings. (Am. by ORD-24-00018, 3-20-24)

Driveways shall be designed according to the requirements of Sec. 10.08, MGO, and the following standards.

(a) Driveways shall be a minimum of eight (8) feet in width, except where otherwise specified in Sec. 10.08, MGO.

(b) Driveways may be located in the following locations:

- 1.

Within a front yard setback or street side yard setback, including the extension of the side yard setback into the rear yard setback (see Figures I8 and I9). The driveway must lead only from a street to the nearest garage or to a parking area located in compliance with Subsection (8)(c) above. Maximum driveway width is the width of the garage entrance or parking area, up to a maximum of twenty-two (22) feet.

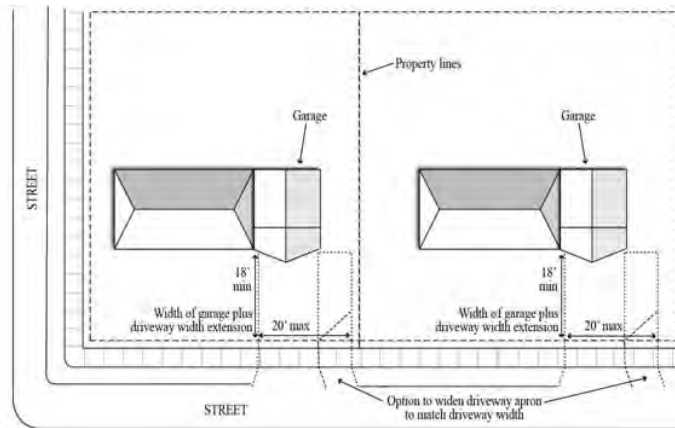


Figure I17: Driveway width extension

2. Driveways leading to an attached or detached garage at a single- or two-family dwelling may be located in the front setback area and be wider than the width of the garage entrance if the driveway width extension meets the following standards (see Figure I17):
 - i. The total width of the driveway and driveway width extension in the front yard setback does not exceed twenty (20) feet.
 - ii. The total depth of the driveway including the driveway width extension shall be no less than eighteen (18) feet, and no vehicle parked in the driveway shall extend over or otherwise obstruct any portion of the public right-of-way.
 - iii. The driveway width extension shall only project toward the nearest interior side lot line, beyond the exterior side wall of the garage structure.
 - iv. Access to the driveway and driveway width extension shall be no wider than the width of the driveway and driveway width extension at the sidewalk or street property line.

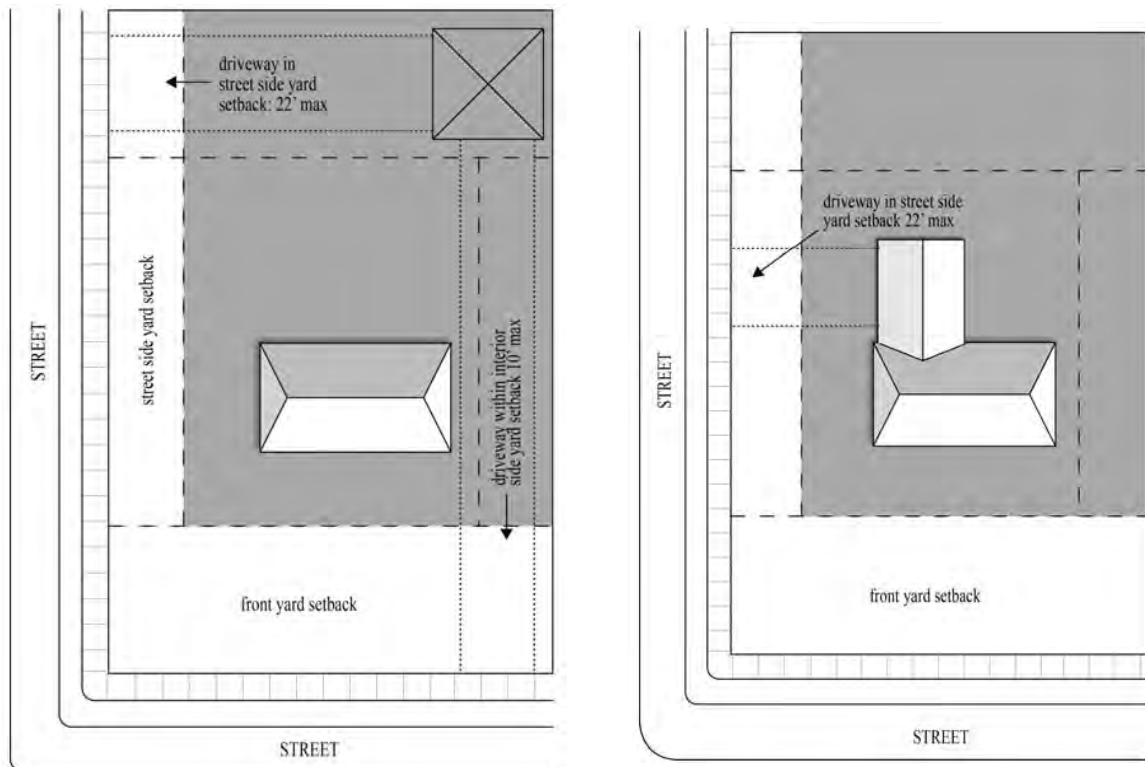
(Sec. 28.141(9)(b)2. Cr. by ORD-17-00018, 2-20-17)

3. Within an interior side yard setback, leading to a garage or parking area located in compliance with Subsection (8)(c) above (see Figure I8). Maximum driveway width is ten (10) feet, which shall not be exceeded within the front yard setback. No setback between the driveway and the side lot line is required. (Renum. by ORD-17-00018, 2-20-17)
- (c) Two (2) driveways may be constructed within a front yard setback or, on a corner lot, within the street side yard setback, including the extension of the side yard setback into the rear yard setback, if the following standards are met (see Figure I10):
- 1.

Each driveway is a maximum of eleven (11) feet wide, or ten (10) feet within an interior side yard setback.

2. Both driveways meet at a point outside the required front, street side or side yard extension setbacks.
 3. Both driveways lead to the same garage or to the same paved or graveled parking area located in compliance with Subsection (8)(c) above.
- (d) Two (2) driveways may be constructed to serve twin dwellings (two-family dwellings separated by a common wall). Each dwelling may have one (1) driveway that meets the requirement of par. (c) above, with a maximum width equal to the width of the garage entrance or parking area, not to exceed twenty-two (22) feet.
- (e) A maximum of two (2) curb cuts are permitted for any residential lot.
- (f) Driveways may be shared between two single- or two-family lots, provided that appropriate easements or other agreements are established. Shared driveways shall meet the minimum and maximum width requirements of this section.
- (g) Driveways shall be oriented in a perpendicular fashion to the street from which they take access, and shall cross required setbacks in a perpendicular fashion, to the extent feasible.
- (h) Driveways serving commercial or industrial uses shall not cross residentially-zoned properties, except where allowed by conditional use.

Figure I8: Interior and Street Side Yard Driveway



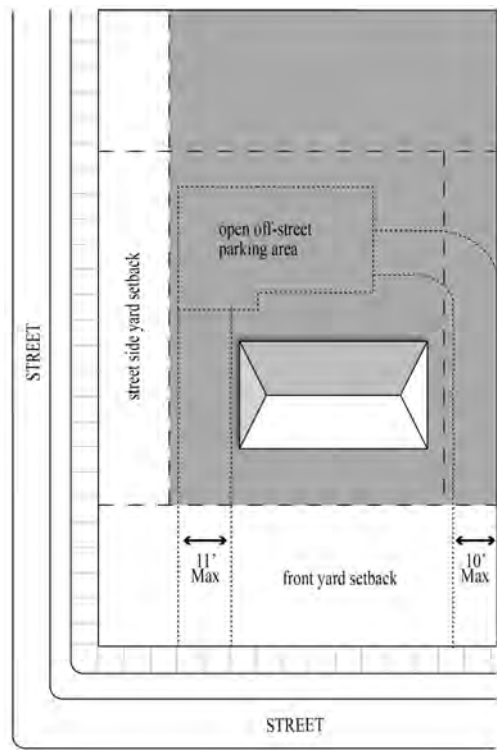


Figure I10: Two Driveways on a Residential Lot

(10) Restrictions on Residential Parking.

- (a) A maximum of one (1) commercial vehicle per dwelling unit may be parked outdoors on residential property if the vehicle is:
1. Used by a resident of the dwelling unit.
 2. Has a manufacturer's gross vehicle weight rating of ten thousand (10,000) pounds or less and is less than twenty-one (21) feet in length.
- (b) Vehicles and/or equipment not normally associated with a residential use are specifically prohibited from being parked or stored on residential property. Such vehicles include, but are not limited to:
1. Construction equipment, such as bulldozers, backhoes, skid steers, and forklifts.
 2. Dump and stake body style trucks.
 3. Cube type vans and trucks.
 4. Landscaping business equipment such as tractors, tree spades, graders and scrapers.
 5. Semi-trailers and tractors.
 6. Concession, vending and catering trailers.
 7. Commercial/Industrial equipment trailers and lifts.
 8. Tow trucks, wreckers or car carriers.
 9. Limousines.

(c)

A mobile recreational vehicle (RV) associated with residential uses may be parked as a passenger vehicle but shall not be utilized for living space or storage of goods, materials or equipment other than is considered part of the RV or essential to its function. (Am. by ORD-13-00086, 5-29-13)

- (d) All vehicles parked on a residential lot shall display current license plates and be in safe, functional and operable condition.

(11) Bicycle Parking Design and Location.

- (a) Parking Designation. Bicycle parking requirements are as shown in Table 28I-3 and shall be designated as long-term or short-term parking.
 - 1. For all residential uses, including those in combination with other uses, at least ninety percent (90%) of required resident bicycle parking shall be designed as long-term parking. Any guest parking shall be designed as short-term parking. Except as allowed in Secs. 28.141(11)(f)-(h) below, all bicycle parking shall be ground mount non-vertical, and have a six (6) foot vertical clearance.
 - 2. For all other uses, at least ninety percent (90%) of all bicycle parking shall be designed as short-term parking.
- (b) Required short-term bicycle parking spaces shall be located in a convenient and visible area at least as close as the closest non-accessible automobile parking and within one hundred (100) feet of a principal entrance and shall permit the locking of the bicycle frame and one (1) wheel to the rack and shall support a bicycle in a stable position. No fee shall be charged for resident bicycle parking where free auto or moped parking is provided on-site.
- (c) Required long-term bicycle parking spaces shall be located in enclosed and secured or supervised areas providing protection from theft, vandalism and weather and shall be accessible to intended users. Required long-term bicycle parking for residential uses shall not be located within dwelling units or within deck, patio areas, or private storage areas accessory to dwelling units. With permission of the Zoning Administrator, long-term bicycle parking spaces for non-residential uses may be located off-site within three hundred (300) feet of the site. No fee shall be charged for resident bicycle parking where free auto or moped parking is provided on-site.
- (d) Bicycle parking spaces shall be located on paved or pervious, dust-free surface with a slope no greater than three percent (3%). Surfaces shall not be gravel, landscape stone, or wood chips.
- (e) Bicycle parking spaces shall be a minimum of two (2) feet by six (6) feet. There shall be an access aisle a minimum of five (5) feet in width. Each required bicycle parking space must be accessible without moving another bicycle and its placement shall not result in a bicycle obstructing a required walkway. Bicycle racks shall be installed to the manufacturer's specifications, including the minimum recommended distance from other structures. (Am. by ORD-13-00007, 1-15-13)

- (f) Up to twenty-five percent (25%) of bicycle parking may be structured parking, vertical parking or wall mount parking, provided there is a five (5) foot access aisle for wall mount parking.
- (g) Bicycle parking not meeting dimensional or access aisle requirements may be installed but shall not count towards a minimum bicycle parking requirement.
- (h) All racks shall accommodate cable locks and "U" locks including removing the front wheel and locking it to the rear fork and frame.
- (i) Bicycle parking substituted for auto parking may be horizontal or vertical, as long as dimensional requirements are met.
- (j) For multi-building development, bicycle parking shall be provided for each building.

(12) Moped Parking Design and Location.

Where moped or scooter off-street parking is provided, it shall meet the following standards:

- (a) Spaces shall be a minimum of three (3) feet by six (6) feet in size with a vertical clearance of six (6) feet and with a drive aisle of five (5) feet.
- (b) The spaces may be located close to bicycle parking areas but kept separate and out of the way of conflict with other motor vehicle traffic. Moped parking shall not be located within front yard setback areas.
- (c) Spaces shall be located and access should be provided such that the use or crossing of pedestrian facilities, including wheelchair ramps, by mopeds is discouraged and such that mopeds do not come into conflict with pedestrians on foot or in wheelchairs.
- (d) Access to moped areas should be provided using a separate driveway via a curb cut and ramp or mountable curb with a reduced slope after taking into account traffic movements on the street from which safe access must be provided.
- (e) Moped driveways may cross a sidewalk as may any driveway but must not use the sidewalk to provide access to moped stalls. Moped parking areas behind a sidewalk should be separated by a curb when possible.

(13) Off-Street Loading Requirements.

Any use which has a floor area of ten thousand (10,000) square feet or more, and which requires deliveries or makes shipments, shall provide off-street loading facilities in accordance with the regulations of this Section. (Am. by ORD-15-00033, 4-8-15)

- (a) Location. All loading berths shall be located twenty-five (25) feet or more from the intersection of two street right-of-way lines. Loading berths shall not be located within any required front yard or street side yard setback area. All loading areas shall be located on private property and shall not be located within, or interfere with, any public right-of-way.
- (b)

Required number of spaces are based on the size of the establishment as follows, but may be reduced through conditional use approval:

Size of Establishment	Number of Loading Spaces
Office buildings and lodging:	
10,000 to 50,000 sq. ft. floor area	1 loading space
50,001 to 200,000 sq. ft. floor area	2 loading spaces
over 200,000 sq. ft. floor area	2 + 1 additional space per each 75,000 sq. ft. floor area above 200,000
Retail, service, commercial, wholesale and industrial uses	
10,000 to 20,000 sq. ft. floor area	1 loading space
20,001 to 100,000 sq. ft. floor area	2 loading spaces
over 100,000 sq. ft. floor area	2 + 1 additional space per each 75,000 sq. ft. floor area above 100,000

(Am. by ORD-13-00097, 6-12-13; ORD-15-00033, 4-8-15)

- (c) Size of Spaces. A required off-street loading space shall be at least ten (10) feet wide by at least thirty-five (35) feet in length for structures less than twenty thousand (20,000) square feet in floor area, and at least ten (10) feet wide by fifty (50) feet in length for larger structures. The above areas shall be exclusive of aisle and maneuvering space, and shall have a vertical clearance of at least fourteen (14) feet. (Am. by ORD-15-00033, 4-8-15)
- (d) Shared Loading. Two or more uses on adjacent zoning lots may share a loading area.
- (e) Uses for which off-street facilities are otherwise required but which are located in structures of less than twenty thousand (20,000) square feet of floor area may use drive aisles or other suitable areas on the same lot for loading purposes.
- (f)

Surfacing. All open off-street loading areas shall be paved with a bituminous pavement or Portland cement concrete pavement in accordance with City of Madison standards and specifications.

(g) Motor Vehicle Idling.

1. No property owner shall cause or permit the engine of any motor vehicle to operate in idle for longer than five (5) consecutive minutes while stopping, standing, or parking except when actively loading or unloading of property or passengers.
2. Exceptions. The following periods of idling by any motor vehicle shall be exempted from sub. (1) of this Section:
 - (a) Idling as needed when the ambient temperature is below twenty degrees Fahrenheit (20°F) or above ninety degrees Fahrenheit (90°F);
 - (b) Idling as needed to operate defrosters, heaters, air conditioners, or other equipment, to prevent a health or safety emergency, including for the purpose of providing shelter;
 - (c) Idling as needed for testing, servicing, repairing, or diagnostic purposes;
 - (d) Idling as needed to operate auxiliary equipment for which the motor vehicle was designed, other than transporting goods, including, but not limited to, operating a transportation refrigeration unit, lift, crane, pump, drill, hoist, or ready mixed concrete mixer; and
 - (e) Idling as needed for traffic conditions over which the driver has no control, including, but not limited to, traffic congestion, an official traffic control device or signal, a railroad crossing while a train is passing or the crossbars are down, traffic controls in a construction zone, or at the direction of a law enforcement official.
3. Any property owner violating Paragraph 1. shall be subject to a forfeiture of not less than twenty dollars (\$20) nor more than three hundred fifty dollars (\$350) for the first offense, a forfeiture of not less than three hundred fifty dollars (\$350) nor more than five hundred dollars (\$500) for the second or subsequent conviction within seven (7) years, and a forfeiture of not less than five hundred dollars (\$500) nor more than seven hundred dollars (\$700) for the third or subsequent conviction within seven (7) years.

(Am. by ORD-17-00091, 9-13-17)